



2024 Development Review Application

City staff contact: Dan Olson
 763-531-1142
dan.olson@crystalmn.gov
 4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

1. Property Address for this application:

2. Property Identification Number (PID):

3. Applicant:

Name: Crystal Housing Group, LLC			
Street: 366 10th Ave S	City: Waite Park	State: MN	Zip: 55311
Telephone: 612.483.3039			
Email: mscarr@sandcompanies.com			

4. Property Owner:

- Same as the Applicant (if so, you don't need to complete this section)
- Different from the Applicant (complete this section)

Name:			
Street:	City:	State:	Zip:
Telephone:			
Email:			

5. Project name and description:

Applicant is requesting an amendment to the site plan for 5240 West Broadway to provide an on-site sports court with a 7' high chainlink fence with a basketball hoop and four-square court. This would reduce the parking lot by one stall to accommodate. In addition, the applicant will landscape surrounding the fence located near the property lines. This sports court will provide on-site options for young kids, teenagers and adults to gather and build community.

6. Project contact (the applicant shall designate one contact person for the application):

Name: Megan Carr	Role in Project: Owner's Representative		
Company: Crystal Housing Group, LLC			
Street: See above	City:	State:	Zip:
Business Telephone:			
Email:			

7. Additional design/engineering professional (if applicable):

Name:	Role in Project:		
Company:			
Street:	City:	State:	Zip:
Business Telephone:			
Email:			

8. Application type: A complete development review application includes the following:

- Completed and signed development review application form
- Completed and signed escrow form (if applicable - see list of application types below)
- Completed application checklist for each respective type of application (see list below)
- Payment of application fee for each respective type of application (see list below)

Type of application (check all that apply):	Application fee (nonrefundable): [1]
<input type="checkbox"/> Adjacent Parcel Land Conveyance	\$240 + \$240 escrow
<input type="checkbox"/> Administrative Appeal	\$240
<input type="checkbox"/> Comprehensive Plan Amendment	\$700 + \$700 escrow
<input type="checkbox"/> Conditional Use Permit	\$700 + \$700 escrow [2]
<input type="checkbox"/> Lot consolidation	\$480 + \$480 escrow
<input checked="" type="checkbox"/> Rezoning to Planned Development	\$1,400 + \$1,400 escrow
<input checked="" type="checkbox"/> Site Plan	\$700 + \$350 escrow
<input type="checkbox"/> Subdivision	\$700 + \$70 per lot over 2, + 700 escrow
<input type="checkbox"/> Vacation of a public street or easement	\$600 + \$600 escrow
<input type="checkbox"/> Variance	\$600 + \$300 escrow
<input type="checkbox"/> Zoning Certificate	\$120 [2]
<input type="checkbox"/> Zoning Map or Text Amendment	\$700 + \$700 escrow
Total fee: \$1,050 2,800 MSC	

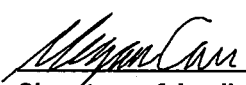
[1]: The escrow fee will first be applied to cover County recording fees and legal fees related to the review of documents associated with the application. For telecommunication towers, the escrow fee will also be applied to engineering review expenses. The remaining escrow fee will be returned to the applicant.

[2]: The fee for a telecommunication tower is \$2,200, plus a \$11,000 escrow

Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.

Applicant: I (We) certify that I (we) have submitted all the required information to apply for consideration of a development review application and the information is factually correct and accurate.

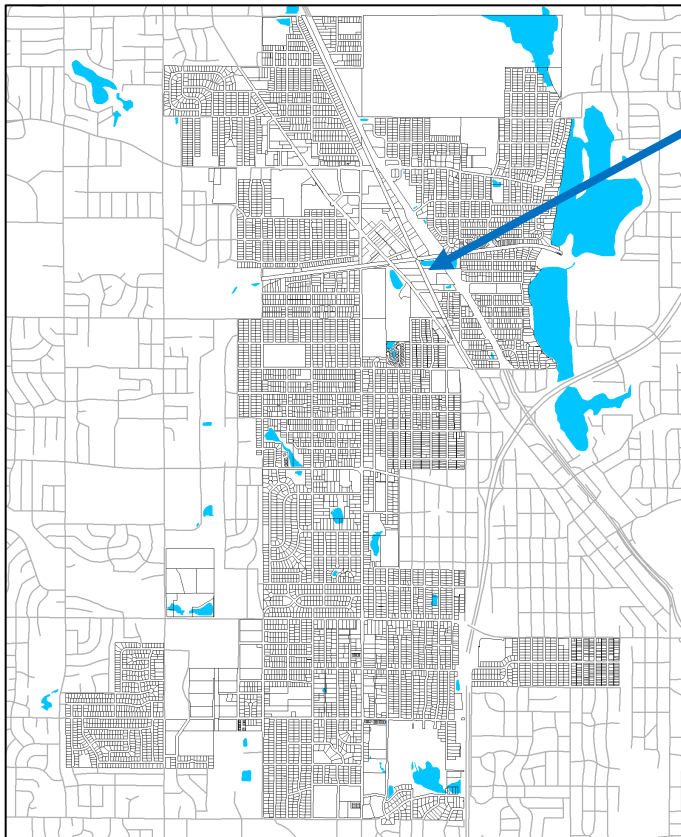
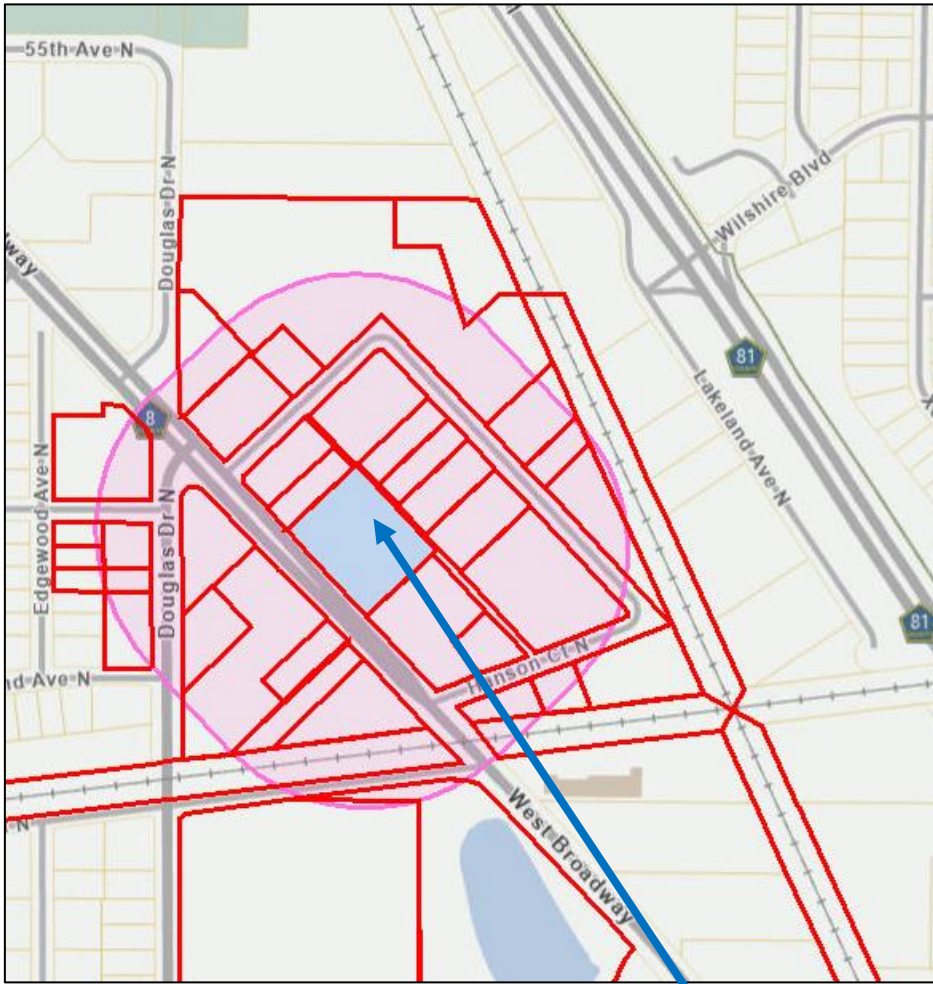
Property Owner: I (We) certify that I am aware that a development review application for the property I (We) own is being submitted by the applicant.

 as VP of Manager of Manager _____ Date: 4/15/2024
Signature of Applicant

N/A _____ Date: _____
Signature of Property Owner (if different from Applicant)

FOR OFFICE USE ONLY:	Application # <u>2024-03</u>	Accounting # 0100.4418	Receipt # _____	Date Received <u>4/17/2024</u>
Acknowledgement letter sent	____/____/____	If application incomplete, was 60-day rule language included? _____		
Plan Comm hearing	____/____/____	City Council action	____/____/____	Approved? Yes ___ No ___ Other ___
NOTES: _____				

Site Location and Public Hearing Notice Mailing Map



5240 West Broadway



CITY of CRYSTAL

**4141 Douglas Dr. N.
Crystal MN 55422**

CITY OF CRYSTAL

APPLICATION TO AMEND TOWN CENTER- PLANNED DEVELOPMENT 5240 WEST BROADWAY AVENUE (5240 APARTMENTS)

PUBLIC HEARING NOTICE

7:00 P.M. ON MONDAY, MAY 13, 2024

CRYSTAL CITY HALL (4141 DOUGLAS DR N) AND ZOOM VIDEO CONFERENCE

The Crystal Planning Commission will consider an application from Crystal Housing Group LLC, who is proposing to add a sport court to the site plan for the apartment building under construction at 5240 West Broadway. The construction of the court requires approval of an amendment to the City Council's approval of the Town Center – Planned Development (TC-PD) in 2022.

Key elements of the proposal: The sport court will consist of the following elements:

- The court would be 30' x 30' (900 sq. ft.) in size.
- The court itself would be enclosed with a 7' tall black vinyl-coated chain-link fence.
- The north and east sides of the court would also be landscaped by Medora Juniper, which can grow up to 15 feet tall, to screen adjacent properties from the court.

The Planning Commission will hold a public hearing on the application at 7:00 p.m. on May 13, 2024 in the Council Chambers at Crystal City Hall, 4141 Douglas Drive North.

To view the application including a detailed site plan:

- Visit City Hall during normal business hours, or
- Visit the 2024 Land Use Applications page on the city website, www.crystalmn.gov or use the QR code to the right for a direct link.
- The staff report to the Planning Commission will be available by May 10 on the same page of the website.



To speak directly to the Planning Commission on the proposal, you may:

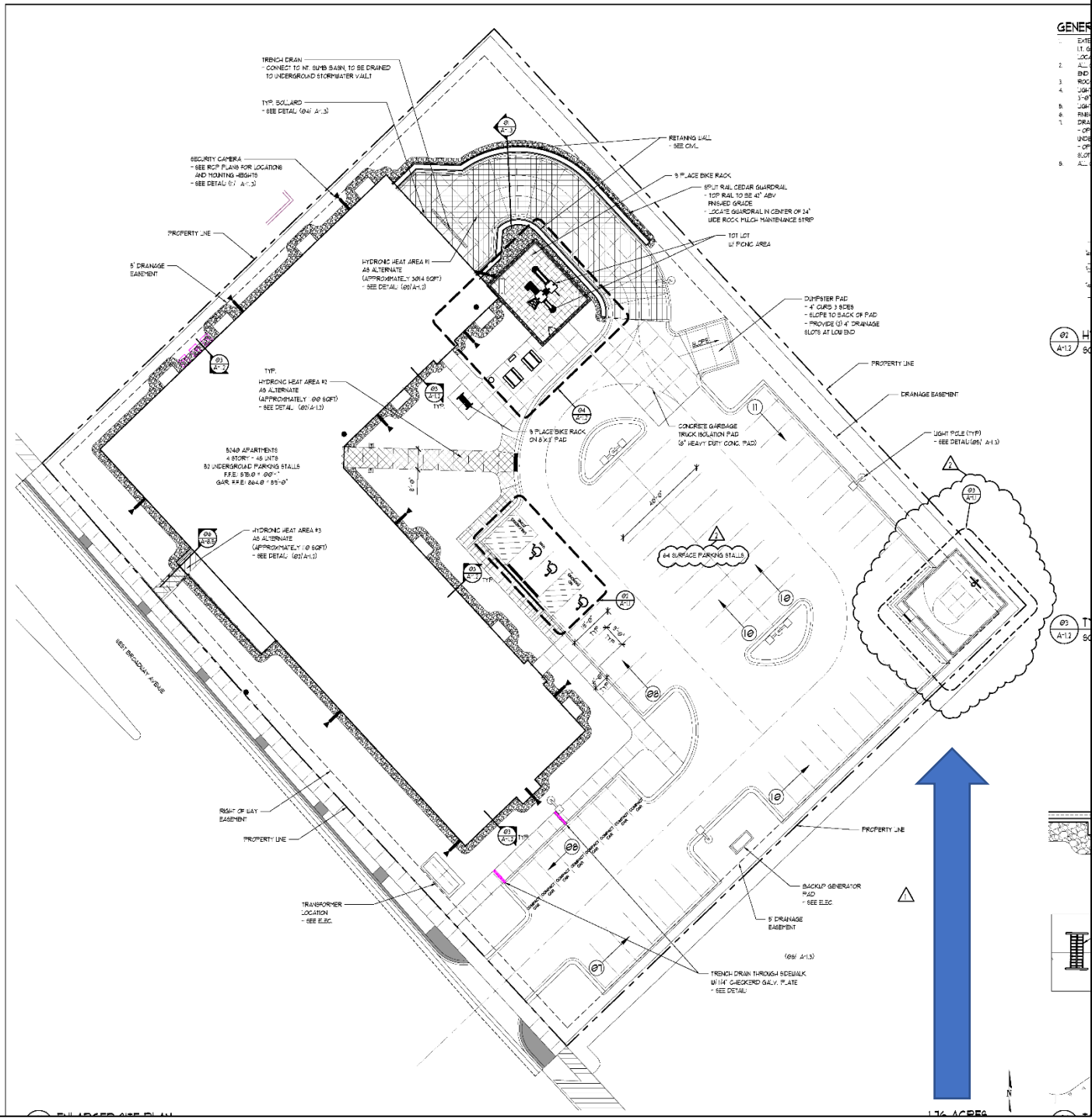
- Attend the meeting via Zoom: <https://go.crystalmn.gov/May13> (meeting ID is 821 2206 1369 and password is 414141) or call-in toll free at 888-475-4499, or
- Attend the public hearing in-person on Monday, May 13, 2024 at 7 p.m. at City Hall.

LEGAL NOTICE: Notice is hereby given that the Planning Commission of the City of Crystal will meet on May 13, 2024 at 7:00 p.m. at Crystal City Hall, 4141 Douglas Drive North, in said City, to consider an application from Crystal Housing Group to amend the Town Center – Planned Development (TC-PD) at 5240 West Broadway Avenue (5240 Apartments). The applicant is proposing to amend the site plan to add a new outdoor sport court at the apartment building under construction. After holding the public hearing, the Commission is expected to make a recommendation to the City Council for their meeting on Tuesday, May 21, 2024 at Crystal City Hall. The proposed planned development amendment application may be reviewed prior to the hearing by visiting the Land Use Applications page on the city website, www.crystalmn.gov, or by contacting Dan Olson, City of Crystal, at 763-531-1142 or dan.olson@crystalmn.gov. Persons desiring to be heard are invited and encouraged to attend the public hearing. Those unable to attend may submit written comments prior to the date of the hearing to: Dan Olson, City of Crystal, 4141 Douglas Dr N, Crystal MN 55422 or at the above email address. Auxiliary aids are available upon request to individuals with disabilities by calling the city clerk at 763-531-1145 at least 96 hours in advance. TTY users may call Minnesota Relay at 711 or 1-800-627-3529.

1:23:42 PM, AJBrevik

GENERAL

1. EXIST.
2. ALL.
3. ROCK.
4. LIGHT.
5. LIGHT.
6. FINISH.
7. UNFIN.
8. OFF.
9. SLOPE.



Location of proposed sport court

5240 Apts.

Crystal Housing Group, LLC

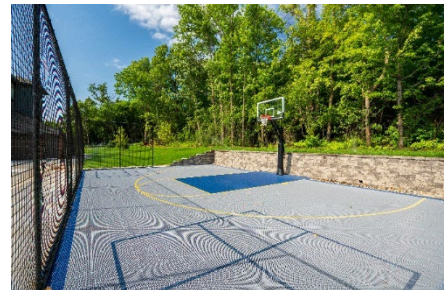
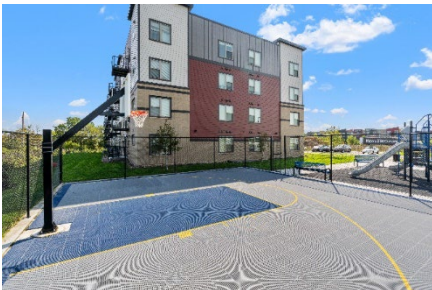
Narrative

5240 Apts is located at 5240 W. Broadway Ave. The proposed amendment to the site plan is to allow a 30' x 30' sports court on-site. During the original design and submittal, the developer and owner believed that there would be significant soil corrections on-site, which would be cost prohibitive to installing additional amenities, such as a sports court. With the building nearly complete and little to no soil corrections necessary on-site, the owner is requesting an amendment to the site plan to allow a 30' x 30' sports court.

The developer has added sports courts to its recent apartment communities in Roseville, Plymouth, Dayton, and Shakopee to provide an on-site amenity that can be used for young kids, teenagers and even adults. The sports court will have a 7' high chain link, black vinyl coated fence around the perimeter with a fixed basketball hoop, and athletic flooring that will include a free-throw line and a four-square area. Throughout these communities, the Property Management team has found that the teenagers and adults have enjoyed having an on-site outdoor community space to gather and play games. Additionally, it provides a safe space with a defined activity (outdoor recreation) for kids looking to hang out. While the owner and developer recognize that Becker Park is nearby and a large park with many amenities, the purpose of this request is to provide a closer option for those times after school, before dinner, before bed, when kids and residents are looking for a place to hang out with their neighbors and friends. Below are some recent pictures from the communities mentioned above. The sports court at 5240 Apts would be of similar design and style.

The City requested an opaque fence along the North and East property lines shielding the sports court from the adjacent nonresidential properties. With adding an opaque fence on the property line, this would create a double fence scenario as a chain-link fence is required at the sports court. A double fence scenario would create issues with yard maintenance, with collecting material like leaves and garbage. Additionally, it isn't feasible to have the opaque fence part of the sports courts as the rigidity of the opaque fence could result in injuries. To accommodate the city's request for screening, the applicant has proposed coniferous shrubs in lieu of a fence, which will allow the free flow of air behind the sports court and access if needed. These shrubs would be easily replaced if any utility work were to occur.

- a) Current zoning district for the property is Town Center - Planned Development.
- b) Existing and proposed use for the property is a 58 unit apartment community with a mix of 1, 2, 3 and 4 bedroom apartments that is under construction and planned to open in June 2024.



SITE DEVELOPMENT SUMMARY

• CURRENT ZONING:	INDUSTRIAL
• PROPOSED ZONING:	TC-PD
• GROSS SITE AREA:	76,944 SF (1.76 AC)
LOT 1	
• BUILDINGS:	58 UNITS
• APARTMENT:	4 LEVELS LIVING SPACE
	1 LEVEL UNDERGROUND PARKING
DENSITY:	32.95 UNITS/AC.
• BUILDING SETBACKS:	1' FRONT ; 0' REAR ; 3' SIDE
• PROPOSED BUILDING SETBACKS:	MAX . 24' FRONT; MIN. 10' SIDE
• PARKING SETBACKS:	REAR 3' BOC; SIDE 1' BOC
• PARKING	
• PARKING REQUIRED	116 SPACES
• SURFACE PARKING	65 SPACES
• 2 SPACES / UNIT	
• UNDERGROUND GARAGE	52 SPACES
	117 SPACES
• RATIO:	2.0 SPACES/UNIT
• PARKING SPACE / DRIVE AISLE:	9' WIDE X 18' LONG, 24' AISLE
• COMPACT PARKING SPACE:	8' WIDE X 16' LONG, 24' AISLE
IMPERVIOUS SURFACE:	69.1%
• PERVIOUS SURFACE:	EXISTING 33,103 SF
• IMPERVIOUS SURFACE:	PROPOSED 23,522 SF
	43,091 SF
BUILDING FRONTAGE:	68.5%
• TOTAL LENGTH:	308.1 LF
• BUILDING LENGTH:	211.3 LF

GENERAL SITE NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
2. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
3. ALL DIMENSIONS ARE TO BACK OF CURB FOR RESIDENTIAL OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
5. ALL CURB RADII SHALL BE 5.0 FEET (TO BACK OF CURB) UNLESS OTHERWISE NOTED.
6. ALL CURB AND GUTTER SHALL BE **B612** UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.

SITE LEGEND

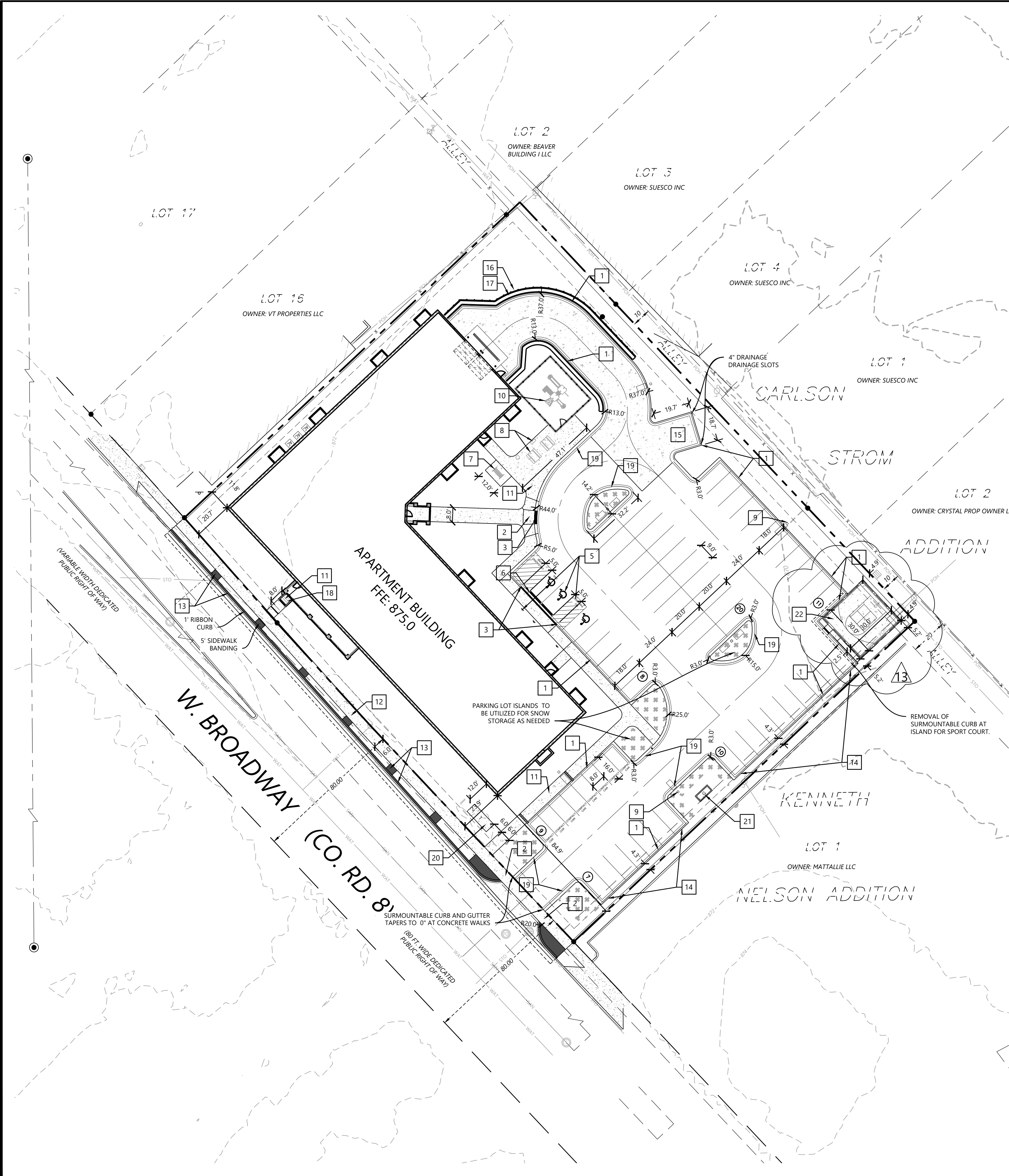
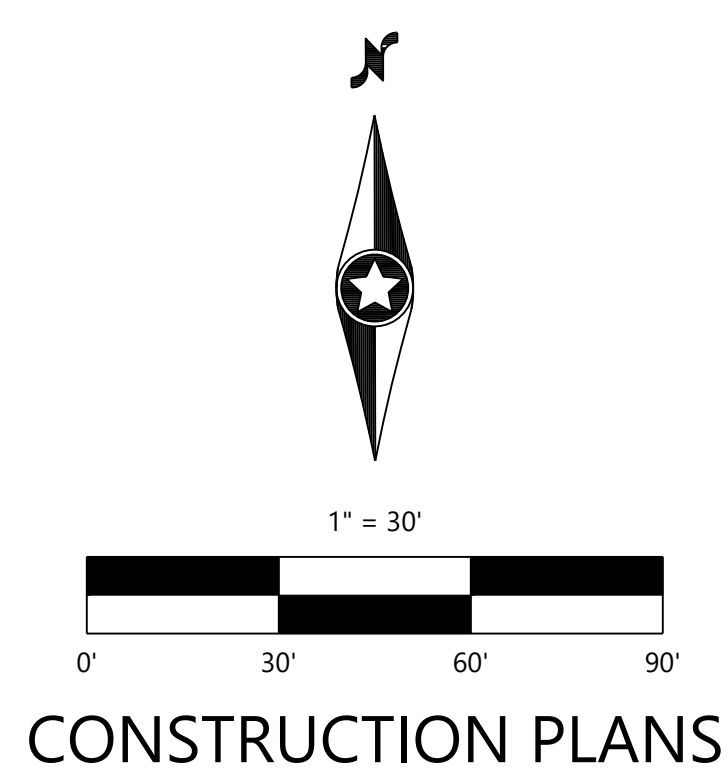
EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		COLORLED CONCRETE PAVEMENT
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING (SEE LIGHTING PLANS)
		TRAFFIC SIGN
		POWER POLE
		BOLLARD / POST
		SNOW STORAGE AREA

1 SITE NOTES

- 1 B612 CURB AND GUTTER
- 2 PEDESTRIAN CURB RAMP W/ TRUNCATED DOMES
- 3 FLUSH CURB
- 4 INTEGRAL CURB AND SIDEWALK
- 5 HANDICAP ACCESSIBLE SIGNAGE AND STRIPPING
- 6 CURB STOP
- 7 BIKE RACK (SEE ARCH. PLANS)
- 8 PICNIC TABLE & GRILLS (SEE ARCH. PLANS)
- 9 SITE LIGHTING (SEE LIGHTING PLANS)
- 10 TOT LOT (SEE ARCH. PLANS)
- 11 PRIVATE CONCRETE SIDEWALK
- 12 PUBLIC CONCRETE SIDEWALK
- 13 COLORED CONCRETE BOULEVARD - CHARCOAL GRAY
- 14 FUTURE ELECTRIC CAR CHARGING STATIONS (17)
- 15 TRASH PICK-UP PAD
- 16 FENCE (SEE ARCH. PLANS)
- 17 RETAINING WALL
- 18 HANDRAILS (SEE ARCH. PLANS)
- 19 SURMOUNTABLE CURB AND GUTTER
- 20 TRANSFORMER PAD
- 21 GENERATOR PAD
- 22 SPORT COURT (SEE ARCH PLANS)

13 SPORT COURT NOTES

1. SYNTHETIC COURT SYSTEM OVER CONCRETE BASE. SEE MATERIALS/EQUIPMENT SCHEDULE FOR MAKE, MANUFACTURER AND/OR OTHER INFO. INCLUDE MARKINGS FOR BASKETBALL AND 4 SQUARE; SHOP DRAWINGS REQUIRED.
2. CHAIN LINK FENCE TO BE PROVIDED AROUND THE PERIMETER. SEE MATERIALS/EQUIPMENT SCHEDULE FOR MAKE, MANUFACTURER AND/OR OTHER INFO. SHOP DRAWINGS REQUIRED. FENCE TO BE LOCATED IN SLAB WORK, MIN. 6" FROM EDGE.
3. REGULATION SIZE BASKETBALL, STANDARD BACKBOARD & HOOP, FOOTING SIZE PER MANUFACTURER RECOMMENDATIONS, AND SHOP DRAWINGS REQUIRED.
4. CONCRETE PAVEMENT, COURT BASE, SEE DETAILS & COORDINATE WITH COURT MANUFACTURER DETAILS.



DESIGNED:	INITIAL ISSUE: 06/14/22
CHECKED:	REVISIONS:
DRAWN:	03/31/23 ASI#03 - MN DOLI COMMENTS
HORIZONTAL SCALE: 30'	06/15/23 ASI#04 - ADA & CURB REVISION
VERTICAL SCALE: 6' OR 3'	08/24/23 ASI#05 - GENERATOR RELOCATION
	02/22/24 ASI#07 - UTILITY REVISIONS
	04/16/24 ASI#08 - SPORT COURT ADDITION

PREPARED FOR:
CRYSTAL HOUSING GROUP, LLC
P.O. BOX 727
WAITE PARK, MN 56387

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
Nicholas T. Meyer
NICHOLAS T. MEYER
DATE: 04/16/24 LICENSE NO. 53774

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-8822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com
Westwood Professional Services, Inc.

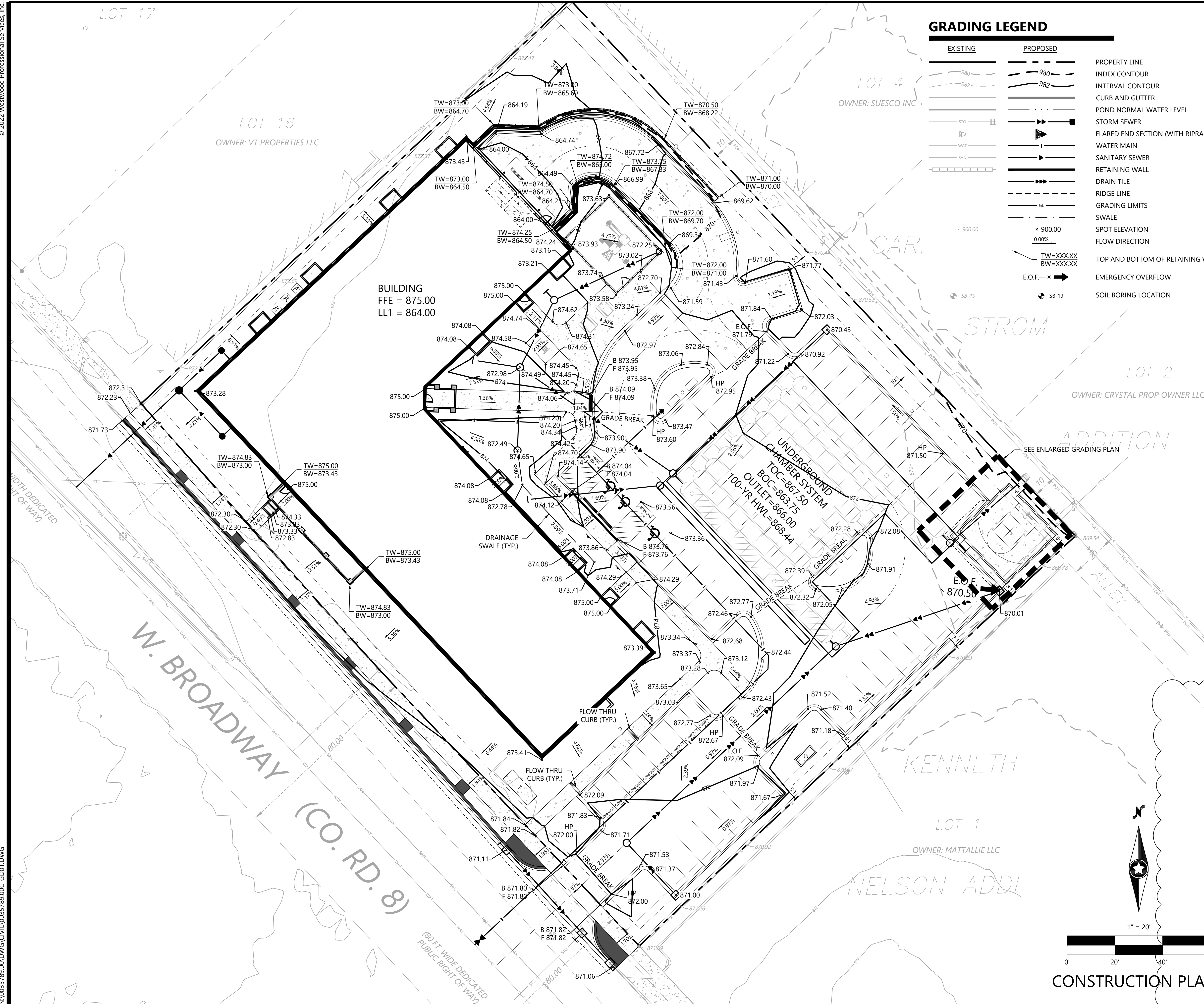
5240 APARTMENTS
CRYSTAL, MINNESOTA

SHEET NUMBER:
04 OF **14**

SITE PLAN

PROJECT NUMBER: 0035789.00 DATE: 04/16/24

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GRADING LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		SWALE
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERTFLOW
		SOIL BORING LOCATION

GRADING & DRAINAGE NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.**
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

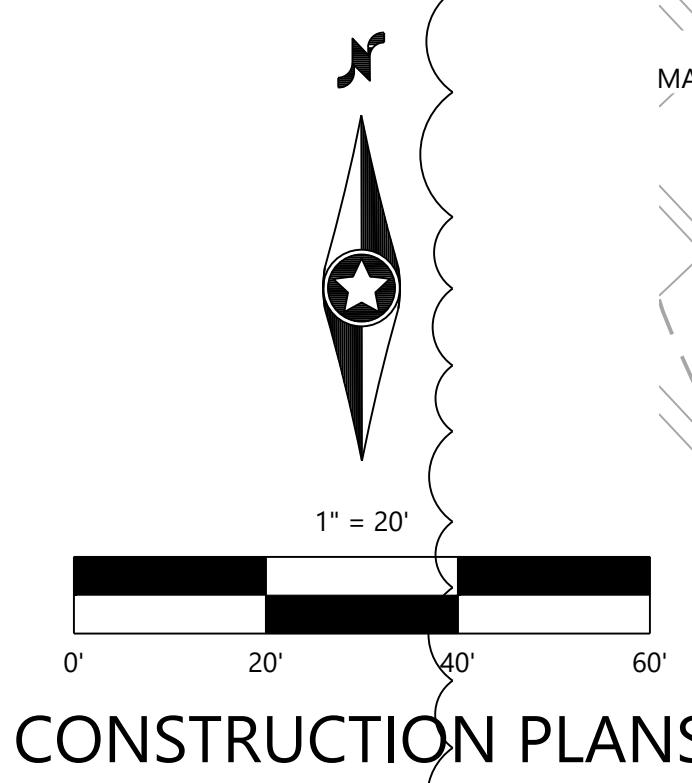
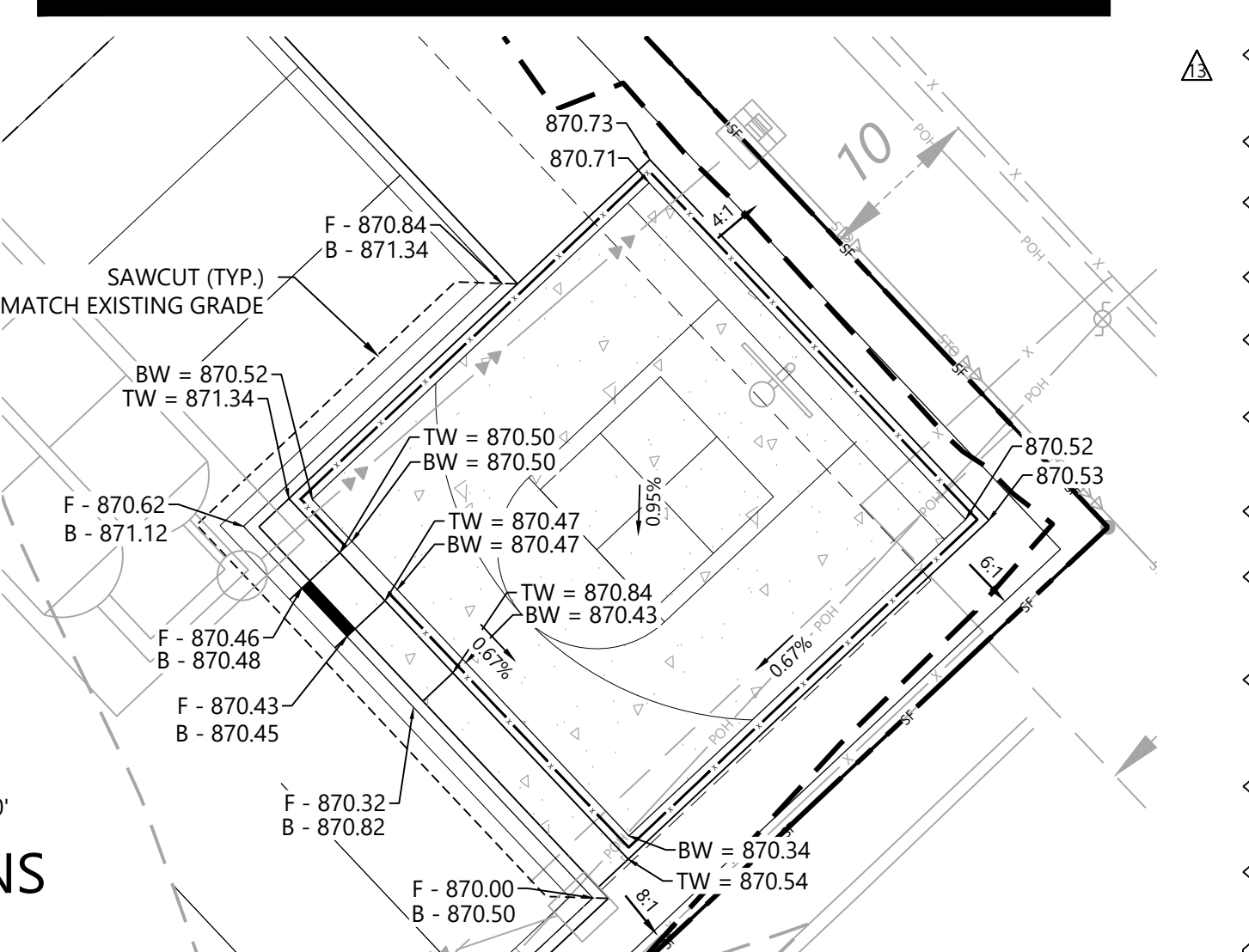
FILTRATION/INFILTRATION BASIN NOTES

- BASIN EXCAVATION AND PIPE INSTALLATION MAY TAKE PLACE BEFORE CURB INSTALLATION. ALL OTHER BASIN CONSTRUCTION MUST WAIT UNTIL FINAL SITE LANDSCAPING. REMOVE SEDIMENT FROM EXCAVATED BASIN PRIOR TO PLACEMENT OF FILTER MEDIA. PLACE SAND BAGS OR SIMILAR ITEM IN CURB CUTS TO PRE-FILTER STORM WATER UNTIL PLANTS ARE ESTABLISHED IN BASINS. MAINTAIN INLET PROTECTION ON DOWN STREAM INLETS UNTIL BASINS ARE ON-LINE.
- BASIN EXCAVATION SHALL BE WITH TOOTHED-BUCKETS TO SCARIFY THE BOTTOM.
- PLACE SILT FENCE AROUND BASINS AS SHOWN IMMEDIATELY AFTER BASIN CONSTRUCTION.
- BASINS MUST BE TESTED FOR INFILTRATION RATE AFTER TOTAL SITE STABILIZATION. A DUAL RING INFILTRATOR SHALL BE USED FOR TESTING. MINIMUM INFILTRATION RATE IS 1-INCH PER HOUR. IF BASIN DOES NOT MEET INFILTRATION RATE, CONTRACTOR MUST TAKE CORRECTIVE ACTION UNTIL MINIMUM INFILTRATION RATE IS MET. CORRECTIVE ACTION MAY INCLUDE REMOVING PLUG IN DRAIN TILE. ALL TESTING AND CORRECTIVE ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE INCIDENTAL TO THE CONTRACT, WITH NO DIRECT COMPENSATION MADE.
- NO EQUIPMENT OR MATERIAL STORAGE, OTHER THAN CHAMBERS, WILL OCCUR IN THE INFILTRATION AREA.

GREEN COMMUNITIES NOTES

- FINAL GRADING WILL PROVIDE WATER DRAINAGE AWAY FROM WALLS, WINDOWS AND ROOFS BY PROVIDING WEATHER-RESISTANT BARRIER, FLASHING AND MASONRY FLASHING/WEEP HOLES AND DRIP EDGE AND WALL/ROOF INTERSECTION FLASHING.

ENLARGED GRADING PLAN (1" = 10')



DESIGNED:	
CHECKED:	
DRAWN:	
HORIZONTAL SCALE:	20'
VERTICAL SCALE:	4" OR 2"

INITIAL ISSUE:	06/14/22
REVISIONS:	
03/31/23	ASI#03 - MN DOLI COMMENTS
06/15/23	ASI#04 - ADA & CURB REVISION
08/24/23	ASI#05 - GENERATOR RELOCATION
02/22/24	ASI#07 - UTILITY REVISIONS
04/16/24	ASI#08 - SPORT COURT ADDITION

PREPARED FOR:
CRYSTAL HOUSING GROUP, LLC
 P.O. BOX 727
 WAITE PARK, MN 56387

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Thomas D. Desutter
 THOMAS D. DESUTTER
 DATE: 04/16/24 LICENSE NO. 59640

5240 APARTMENTS
 CRYSTAL, MINNESOTA

Westwood
 Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-8822 Minnetonka, MN 55343
 Toll Free (888) 937-6150 westwoodps.com
 Westwood Professional Services, Inc.

GRADING PLAN

SHEET NUMBER:
05 OF **14**
 PROJECT NUMBER: 0035789.00 DATE: 04/16/24

5240 APARTMENTS

PRELIMINARY PLANT SCHEDULE

SYMBOL	QTY.	COMMON/BOTANICAL NAME	SIZE	SPACING O.C.	MATURE SIZE
OVERSTORY DECIDUOUS TREES - 14					
BVL	4	Boulevard Linden / Tilia americana 'Boulevard'	2" BB	AS SHOWN	H 60'-70' W 30'-40'
REO	3	Red Oak / Quercus rubra	2" BB	AS SHOWN	H 50'-70' W 50'-70'
PRE	2	Princeton Elm / Ulmus americana 'Princeton'	2" BB	AS SHOWN	H 60' W 40'-50'
SKH	2	Skyline Honeylocust / Gleditsia tricanthos var. inermis 'Skycole'	2" BB	AS SHOWN	H 50'-60' W 30'-35'
CSO	3	Crimson Spire Oak / Quercus x bimundorum 'Crimschmidt'	2" BB	AS SHOWN	H 40'-50' W 15'-20'
OVERSTORY EVERGREEN TREES - 37					
BHS	7	Black Hills Spruce / Picea glauca densata	6" HT. BB	AS SHOWN	H 30'-40' W 20'-30'
NOS	3	Norway Spruce / Picea abies	6" HT. BB	AS SHOWN	H 60'-80' W 25'-30'
AUS	2	Austrian Pine / Pinus nigra	6" HT. BB	AS SHOWN	H 50'-60' W 30'-40'
TEA	12	Technito Arborvitae / Thuja occidentalis 'Baijoh'	6" HT. BB	AS SHOWN	H 8'-10' W 4'-5'
MEJ	13	Medora Juniper / Juniperus scopulorum 'Medora'	#10 Cont.	AS SHOWN	H 10'-12' W 3'-4'
ORNAMENTAL TREES - 7					
QUA	2	Quaking Aspen / Populus tremuloides	10' HT. BB. CLUMP	AS SHOWN	H 40'-60' W 20'-30'
ABS	5	Autumn Brilliance Serviceberry / Amelanchier x grandiflora 'Autumn Brilliance'	2" BB	AS SHOWN	H 30'-40' W 15'-20'
CONIFEROUS SHRUBS - 45					
VGC	15	Vintage Gold Chamaecyparis / Chamaecyparis pisifera 'Vintage Gold'	#5 Cont.	4'-0" O.C.	
TAY	30	Taunton Yew / Taxus x media 'Taunton'	#5 Cont.	4'-0" O.C.	
DECIDUOUS SHRUBS - 222					
GLS	82	Gro-Low Fragrant Sumac / Rhus aromatica 'Grow Low'	#5 Cont.	6'-0" O.C.	
CAV	21	Compact American Viburnum / Viburnum trilobum 'Bailey Compact'	#5 Cont.	5'-0" O.C.	
IBC	11	Iroquois Beauty Chokeberry / Aronia melanocarpa 'Morton'	#5 Cont.	4'-0" O.C.	
ABH	72	Incrediball Hydrangea / Hydrangea arborescens 'Abetwo'	#5 Cont.	4'-0" O.C.	
NFS	36	Neon Flash Spiraea / Spiraea japonica 'Neon Flash'	#5 Cont.	3'-0" O.C.	
PERENNIALS / GRASSES - 477					
KFG	176	Karl Foerster Grass / Calamagrostis x acutiflora 'Karl Foerster'	#1 Cont.	30" O.C.	
SWG	16	Shenandoah Switch Grass / Panicum virgatum 'Shenandoah'	#1 Cont.	30" O.C.	
HOS	54	Guacamole Hosta / Hosta 'Guacamole'	#1 Cont.	24" O.C.	
SBA	67	Summer Beauty Allium / Allium tanguticum 'Summer Beauty'	#1 Cont.	18" O.C.	
ASD	164	Apricot Sparkles Daylily / Hemerocallis 'Apricot Sparkles'	#1 Cont.	18" O.C.	

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

MULTI FAMILY LANDSCAPE REQUIREMENTS

- LANDSCAPING REQUIRED: 11 TREES
- * ONE OVERSTORY TREE PER EVERY 30 FEET OF LOT FRONTAGE
- * TOTAL = 308 LF / 30 LF = 11 OVERSTORY TREES REQUIRED
- * SHRUBS REQUIRED AROUND BUILDING FOUNDATION ALONG FRONTAGE STREET
- * MINIMUM REQUIRED: SHRUBS ALONG FRONT SIDE
- * PROVIDED: SHRUBS/PERENNIALS AROUND THE ENTIRE BUILDING FOUNDATION
- * 5% OF GROSS AREA OF THE PARKING LOT SHALL BE LANDSCAPED
- * 29,270 SF. PARKING LOT x 5% = 1,464 SF. OF LANDSCAPING REQUIRED
- * 1,694 SF. OF LANDSCAPING PROVIDED
- * LANDSCAPE BUFFER REQUIRED BETWEEN BACK OF PARKING LOT AND REAR LOT LINE
- * MINIMUM REQUIRED: SOD OR TURF GRASS
- * PROVIDED: 14 TREES (COMBINATION OF EVERGREEN & DECIDUOUS)
- * PARKING LOT INTERIOR: LANDSCAPED ISLANDS MIN. 9' WIDTH AT NARROWEST DIMENSION
- * 12"-10" PROVIDED
- * PARKING LOT INTERIOR: AREAS NOT COVERED BY TREE CANOPY MUST BE COVERED BY SHRUBS, GRASS, GROUND COVER, LANDSCAPE GRAVEL, OR MULCH.
- * PROVIDED: ROCK MULCH, GRASS, & SHRUBS

GROUND COVER SCHEDULE

- 3"-6" RIVER ROCK MULCH (ALL PLANTING BEDS)
- * ALL DISTURBED AREAS TO BE SODDED UNLESS NOTED OTHERWISE.
- * ALL MULCH RINGS AROUND TREES AND BOULEVARD PLANTING AREAS TO BE SHREDDED CEDAR WOOD MULCH

LANDSCAPE PROVISIONS

TOTAL LANDSCAPING PROVIDED:	58 TREES
* OVERSTORY DECIDUOUS TREES	14 TREES
* OVERSTORY EVERGREEN TREES	37 TREES
* ORNAMENTAL TREES	7 TREES
* PARKING LOT LANDSCAPED	1,818 SF.

GENERAL NOTES

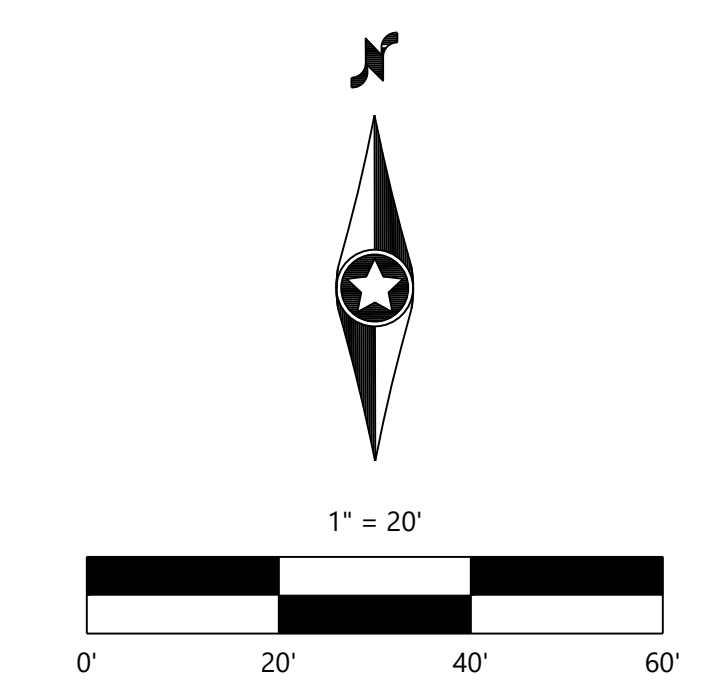
- TREE LOCATIONS AND SPACING ARE SUBJECT TO CHANGE BASED ON CONSTRUCTED PARKING LOT, SIDEWALK, AND UTILITY LOCATIONS.
- PARKING LOT TREES SHALL BE PLANTED 5' FROM BACK OF CURB IN A LOCATION THAT DOES NOT INTERFERE WITH CURBSTOPS OR INDIVIDUAL SEWER & WATER CONNECTIONS.
- STREET TREES SHALL BE PLANTED 7' FROM BACK OF SIDEWALK IN A LOCATION THAT DOES NOT INTERFERE WITH INDIVIDUAL SEWER, WATER CONNECTIONS, AND EASEMENTS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- DECIDUOUS TREES SHOULD BE LOCATED A MINIMUM OF 5' OFF ANY UTILITY PIPE AND CONIFEROUS TREES SHOULD BE LOCATED A MINIMUM OF 15' OFF ANY UTILITY PIPE.
- NO TREE SHOULD BE LOCATED WITHIN 10' OF A HYDRANT OR 15' FROM A STREETLIGHT.
- NO DECIDUOUS TREE WITHIN 5' OF A SIDEWALK OR TRAIL AND NO CONIFEROUS TREES WITHIN 20' OF A PROPOSED SIDEWALK OR TRAIL.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH A DRIP LINE OR SPRAY SYSTEM AS APPROPRIATE FOR THE PROPOSED PLANTINGS IN THE SPECIFIC AREA. LANDSCAPED BOULEVARD ALONG BROADWAY AVENUE TO BE INCLUDED IN THE IRRIGATION SYSTEM.
- MECHANICALS TO BE SCREENED WITH ADEQUATE VEGETATION.

SAND GENERAL NOTES:

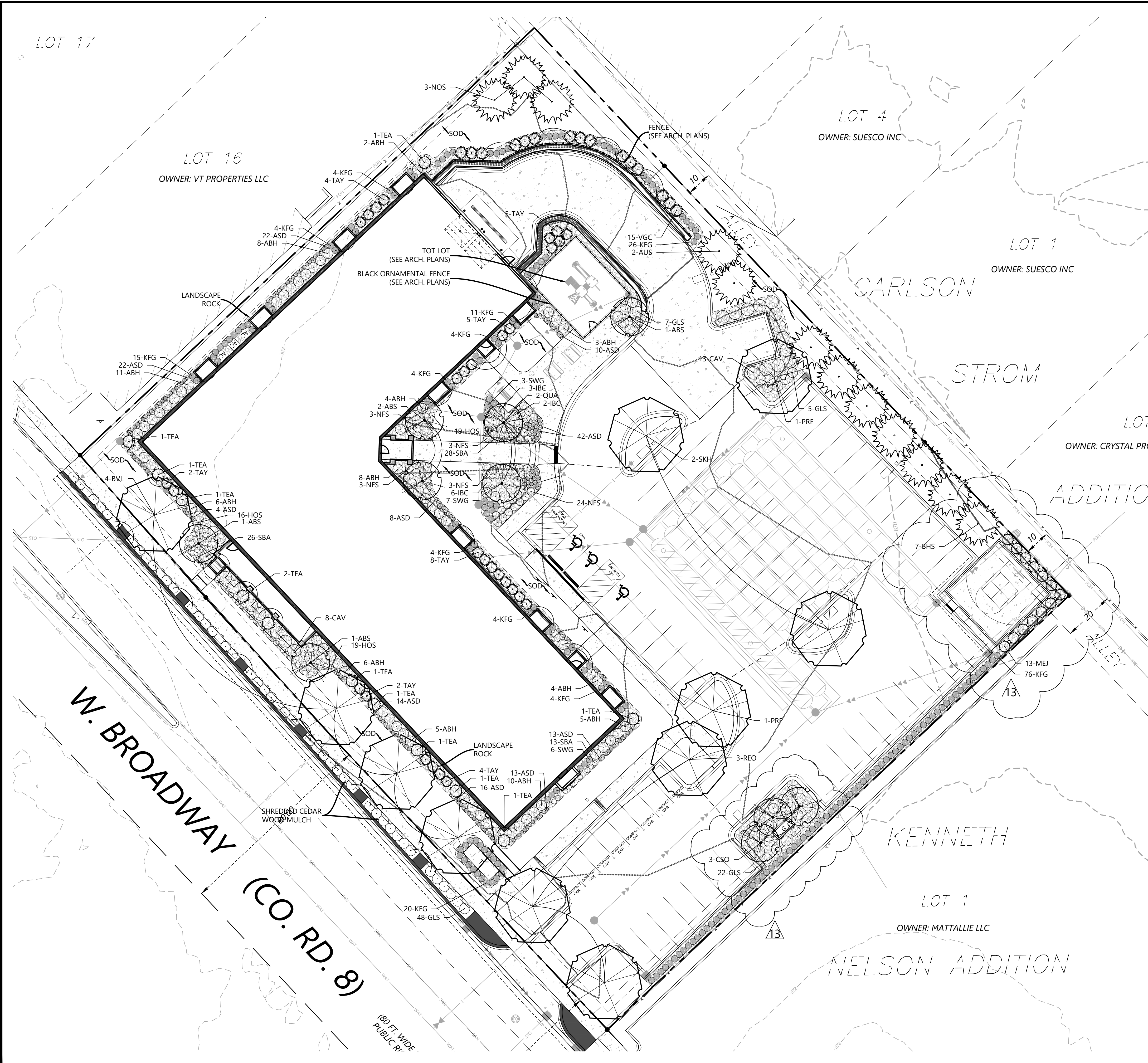
- NEW TREES ARE TO BE 2" IN DIAMETER AT BREAST HEIGHT OR 4.5' ABOVE GRADE.
- SOD SHALL BE IRRIGATED.
- SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATION FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS. SITE IRRIGATION SHALL INCLUDE THE BOULEVARD IF APPLICABLE.
- SUB-CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- SUB-CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND & ABOVE FACILITIES PRIOR TO ANY EXCAVATION OR INSTALLATION. ANY DAMAGE TO UNDERGROUND & ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ALL COSTS ASSOCIATED WITH THE REPAIR OR REPLACEMENT SHALL BE BORNE ENTIRELY BY THE SUB-CONTRACTOR.

SYMBOL LEGEND

- OVERSTORY DECIDUOUS TREES
- OVERSTORY CONIFEROUS TREES
- ORNAMENTAL TREES



CONSTRUCTION PLANS



DESIGNED:	INITIAL ISSUE: 06/14/22
CHECKED:	REVISIONS:
DRAWN:	03/31/23 ASI#03 - MN DOLI COMMENTS
HORIZONTAL SCALE: 20'	06/15/23 ASI#04 - ADA & CURB REVISION
VERTICAL SCALE: 4' OR 2"	08/24/23 ASI#05 - GENERATOR RELOCATION
	02/22/24 ASI#07 - UTILITY REVISIONS
	04/16/24 ASI#08 - SPORT COURT ADDITION

PREPARED FOR:
CRYSTAL HOUSING GROUP, LLC
P.O. BOX 727
WAITE PARK, MN 56387

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
Nicholas T. Meyer
NICHOLAS T. MEYER
DATE: 04/16/24 LICENSE NO. 53774

Westwood
Professional Services, Inc.
Phone (952) 937-5150 12701 Whitewater Drive, Suite 8300
Fax (952) 937-8822 Minneapolis, MN 55443
Toll Free (888) 937-5150 westwood@ps.com

5240 APARTMENTS
CRYSTAL, MINNESOTA

SHEET NUMBER:
10 OF **14**

LANDSCAPE PLAN

PROJECT NUMBER: 0035789.00 DATE: 04/16/24

PRINT LOG

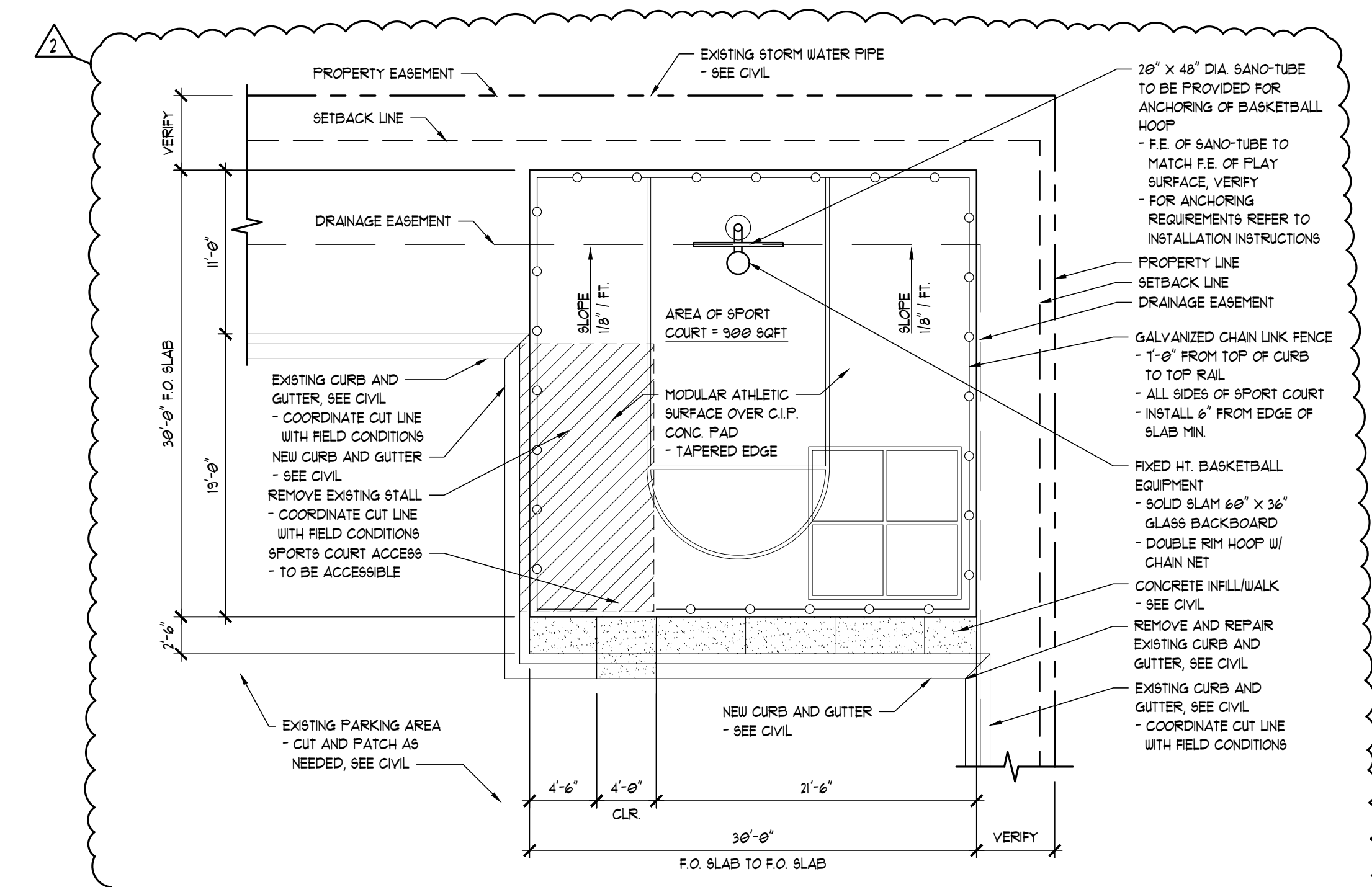
REVISION/DATE/COMMENTS
06-14-22 CITY SUBMITTAL
06-23-22 30% DRAFT
07-12-22 CITY RESUBMITTAL
07-21-22 15% DRAFT
08-25-22 30% DRAFT
09-08-22 100% REVIEW SET
09-23-22 BID / PERMIT SET
08-24-23 ASI #05
TBD ASI #08-DRAFT

OVERALL SITE IMPERVIOUS AREA CALCULATION
 SITE: 1.76 ACRES = 76,944 SQFT
 BUILDING FOOTPRINT INCLUDING PATIOS = 19,936 SQFT
 ALL SITE PAVEMENTS = 52,101 SQFT
 TOTAL IMPERVIOUS AREA = 23,522 SQFT
 TOTAL GREEN SPACE = 1,464 SQFT (5%)

OVERALL SITE CALCULATION
 EXISTING RESIDENTIAL DENSITY = 3.3 UNITS PER ACRE
 REQUIRED 25-50 UNITS PER ACRE
 + 1.76 ACRES X 25 = 44 UNITS MIN
 + 1.76 ACRES X 50 = 88 UNITS MAX
50 UNITS PROVIDED

REQUIRED PARKING
 50 UNITS X 2 PARKING STALLS = 116 PARKING STALLS REQUIRED

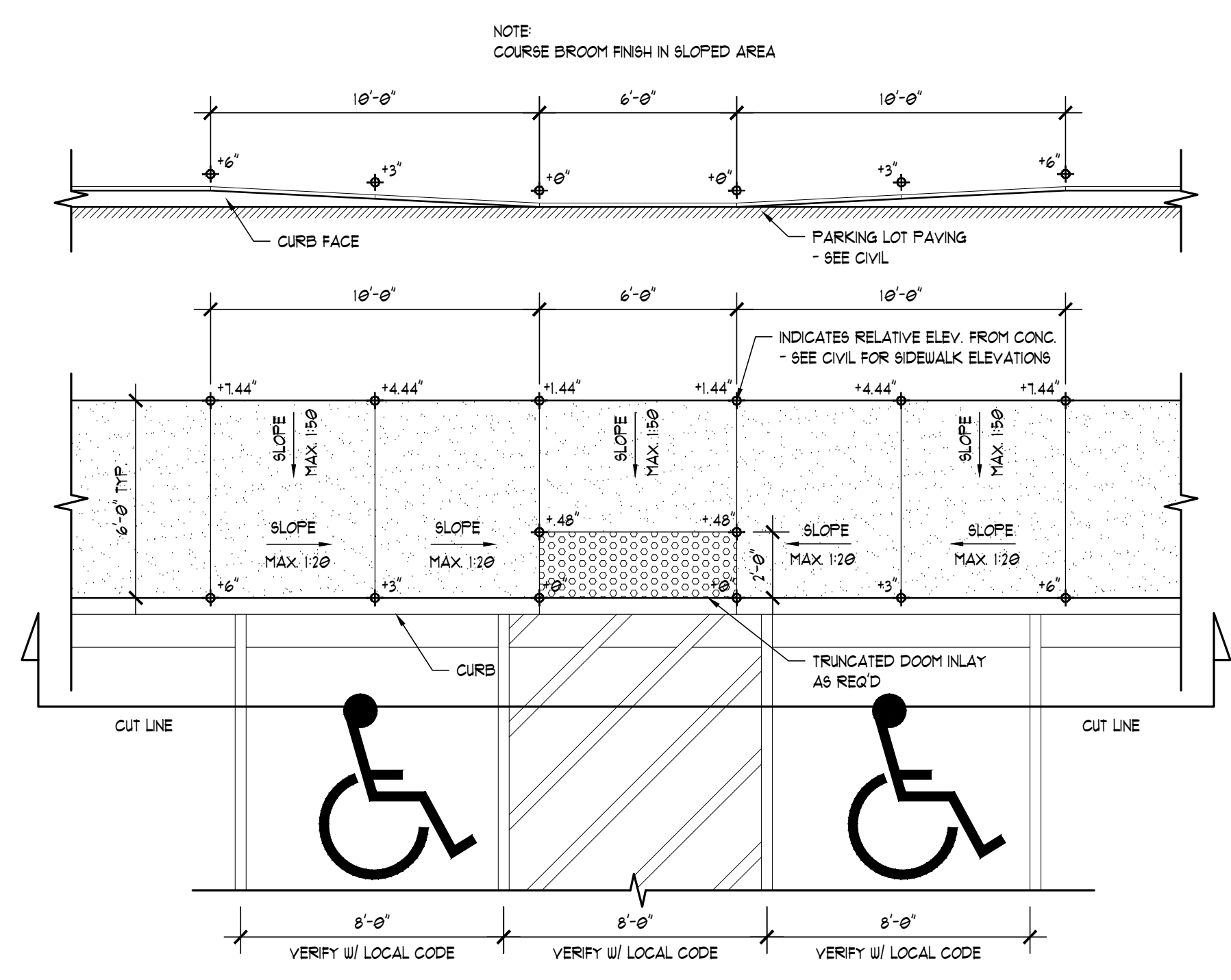
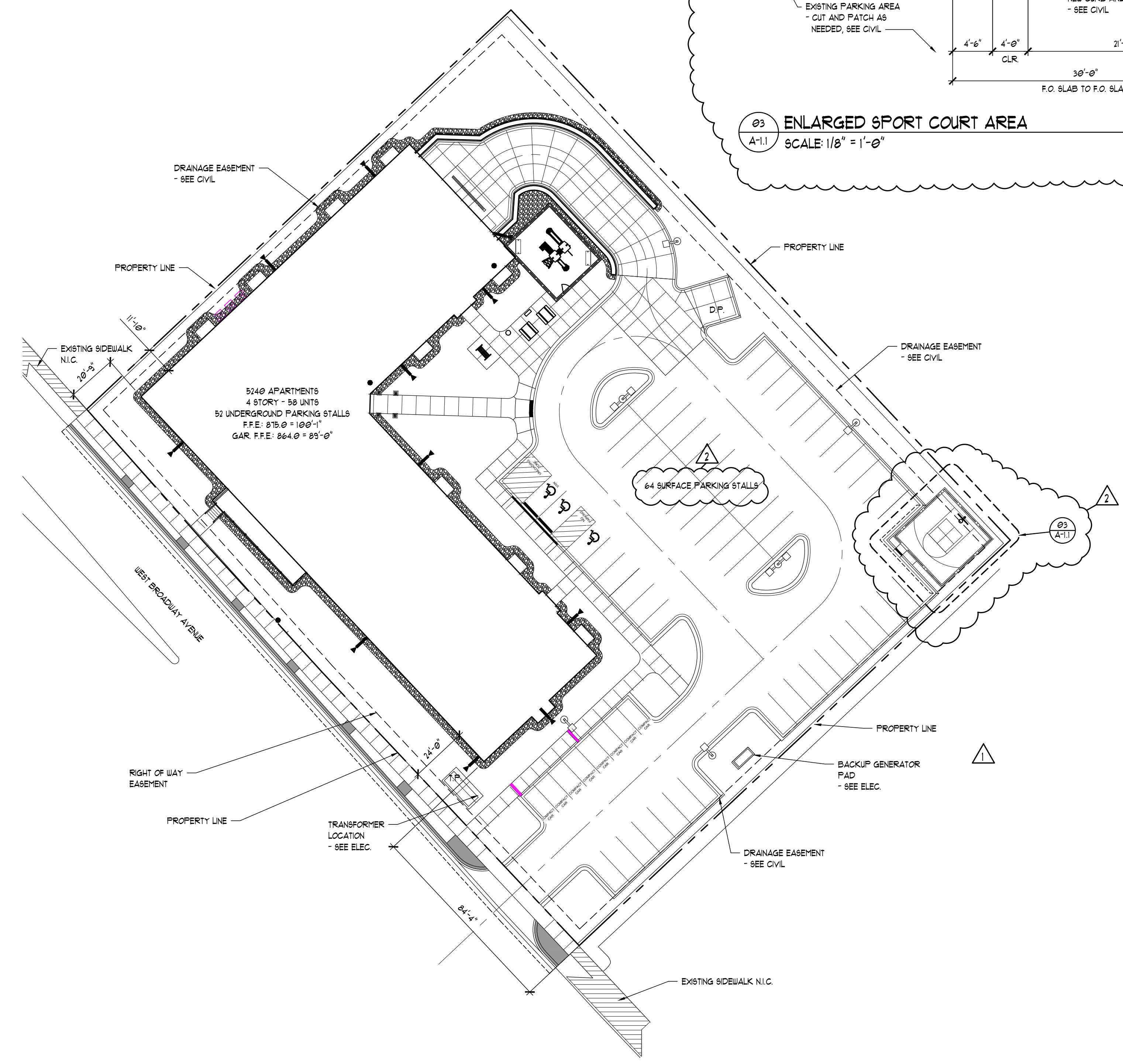
PROVIDED PARKING
 64 SURFACE PARKING STALLS OF WHICH 3 ARE ACCESSIBLE
 52 UNDERGROUND PARKING STALLS OF WHICH 3 ARE ACCESSIBLE
 NO ON STREET PARKING
 116 TOTAL PARKING STALLS OF WHICH 6 ARE ACCESSIBLE
 NOTE: PROOF OF PARKING INDICATED ON OVERALL SITE PLAN



- NOTES**
- #1 = ACCESSIBLE PARKING SIGN - SEE CIVIL DRAWINGS
 - #2 = ACCESSIBLE VAN PARKING SIGN - SEE CIVIL DRAWINGS
 - SEE CIVIL FOR PARKING PAVEMENT SECTIONS
 - = EXTERIOR LIGHT FIXTURES - SEE ELECTRICAL
 - = SECURITY CAMERA - SEE ELECTRICAL - SEE RCP SHEETS
 - ▨ = HEATED CONC. SLAB - BY ALTERNATE
 - ▨ = AREA NOT IN CONTRACT (N.I.C.)
 - SEE LANDSCAPE PLANS FOR ALL INFO PERTAINING TO SITE LANDSCAPE
 - = PROPERTY LINE
 - - - - - = PROPERTY SETBACK LINES

GENERAL SITE AND LANDSCAPE NOTES

- EXTERIOR CAMERA LOCATIONS AND MOUNTING HEIGHT TO BE VERIFIED WITH SAND DEVELOPMENT AND I.T. GROUPS PRIOR TO INSTALLATION. CAMERA LOCATIONS SHOWN FOR REFERENCE ONLY. FOR LOCATIONS AND MOUNTING HEIGHTS, REFER TO RCP PLAN ON SHEET A-6.0
- ALL CAMERA WIRES RUN ABOVE HARD UID CEILING - TO BE PROTECTED WITH EMT CONDUIT. EACH END OF CONDUIT TO BE SEALED BY CAMERA INSTALLER.
- ROCK MULCH AT BUILDING PARAMETER TO CONSIST OF 3"-6" WASHED NATURAL ROCK, SEE SPEC.
- LIGHT POLES LOCATED NEAR CURB LINES ARE TO BE INSTALLED WITH THE FACE OF THE CONC. PIER 3'-0" MIN FROM BACK OF CURB
- LIGHT POLES LOCATED IN PARKING AREAS TO BE CENTERED BETWEEN PARKING STALLS, TYP.
- FINISHED GRADE AT BUILDING TO BE 1" BELOW FINISHED FLOOR U.N.G.
- DRAINAGE IS TO BE PROVIDED AT TOT LOT AREA
 - OPTION 1: PREFERRED METHOD IS AN INTERNAL DRAIN WITH POSITIVE SLOPE TO BE CONNECTED TO UNDERGROUND STORM LINE
 - OPTION 2: PROVIDE POSITIVE DRAINAGE TO LOWEST CORNER OF TOT LOT AREA, AND A 6" DRAINAGE SLOT IN CURB
- ALL C.I.P. COLD JOINTS ARE TO BE PINNED IN AN EFFORT TO MINIMIZE MOVEMENT



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION & THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF MINNESOTA.

SIGNATURE:
 TYPED OR PRINTED NAME: BRADLEY D. HAROLDSON
 LICENSE NO: 423558
 DATE: 09-25-2022

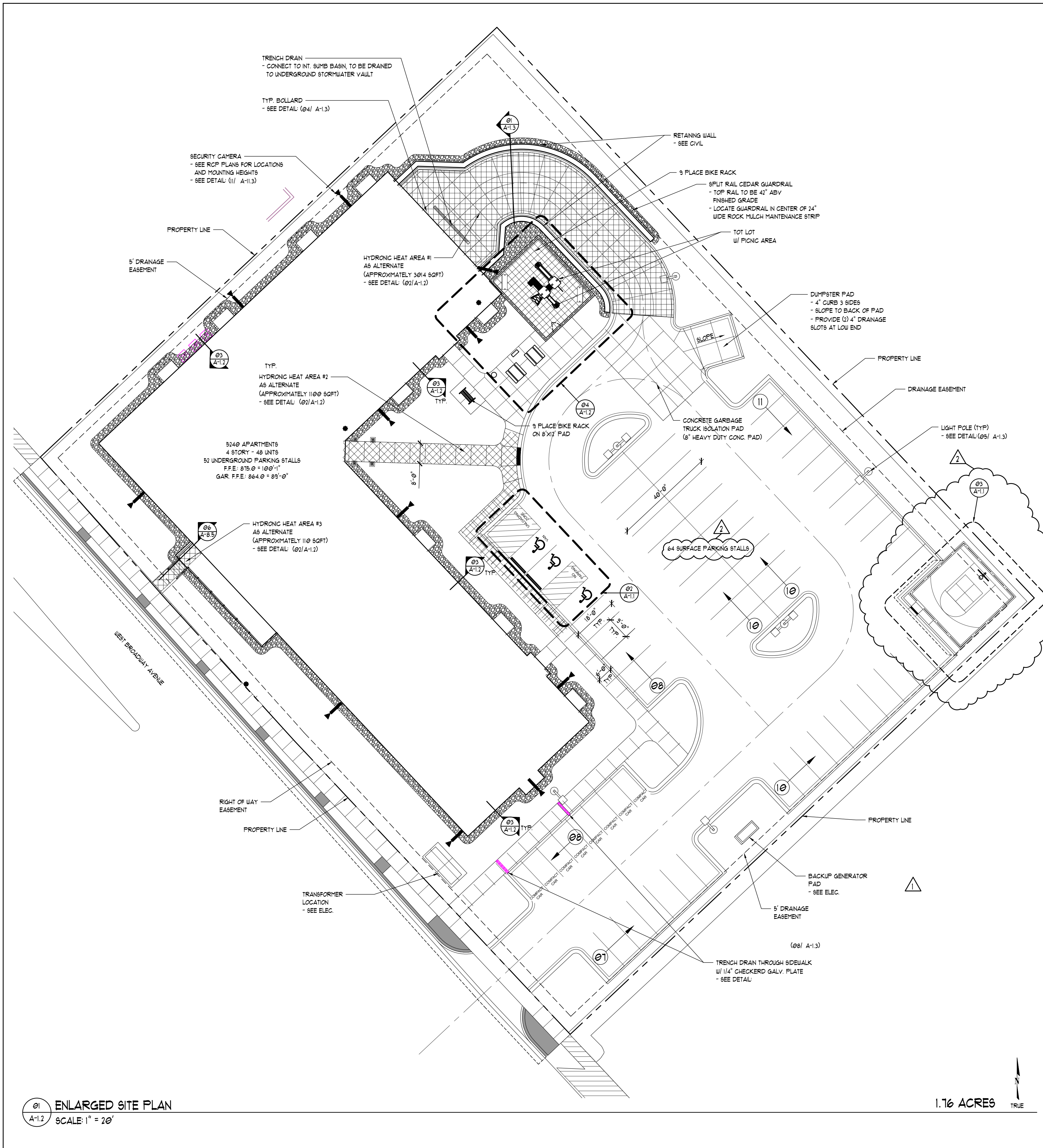
5240 APARTMENTS
 5240 WEST BROADWAY AVE.
 CRYSTAL, MN

OVERALL SITE PLAN

A-1.1

PROJECT NO: 3-00-102-7
 DRAWN BY: A.BUTLER/MS
 CHECKED BY: BOH
 DATE REVISED FOR CONSTRUCTION: 09-25-2022

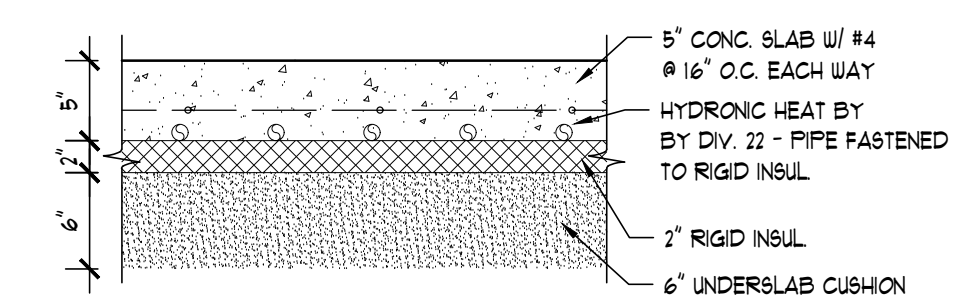
4/16/2024 1:23:42 PM, AJBrevik



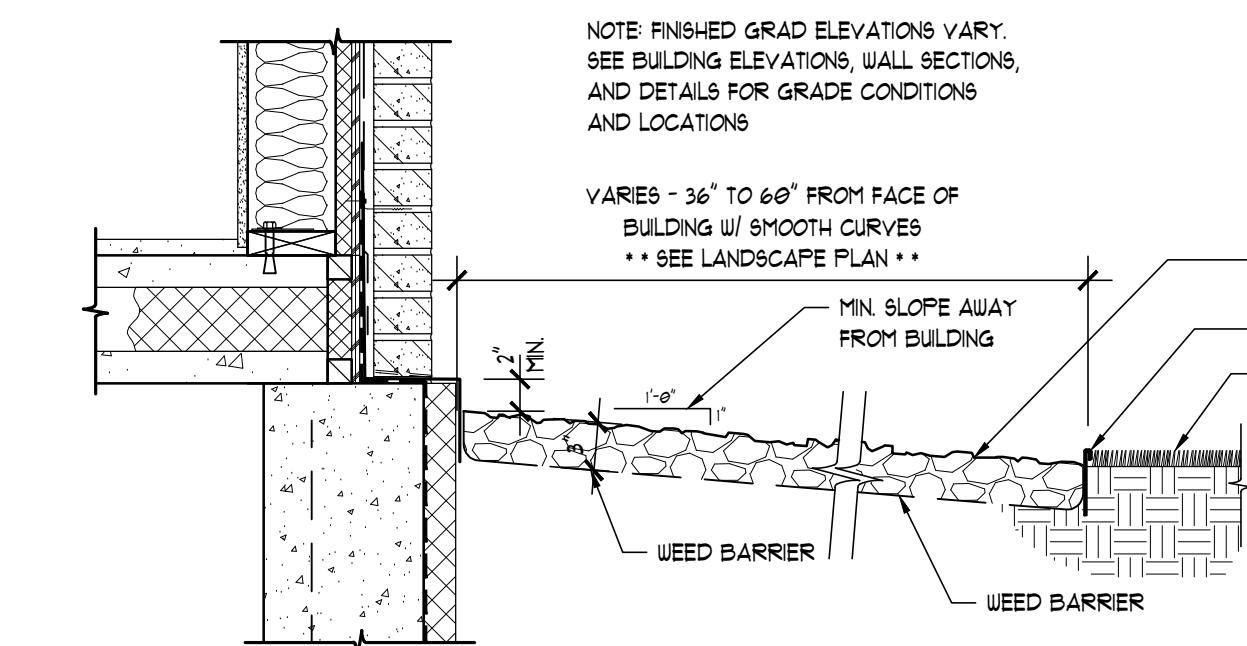
01 ENLARGED SITE PLAN
A-1.2 SCALE: 1" = 20'

GENERAL SITE AND LANDSCAPE NOTES

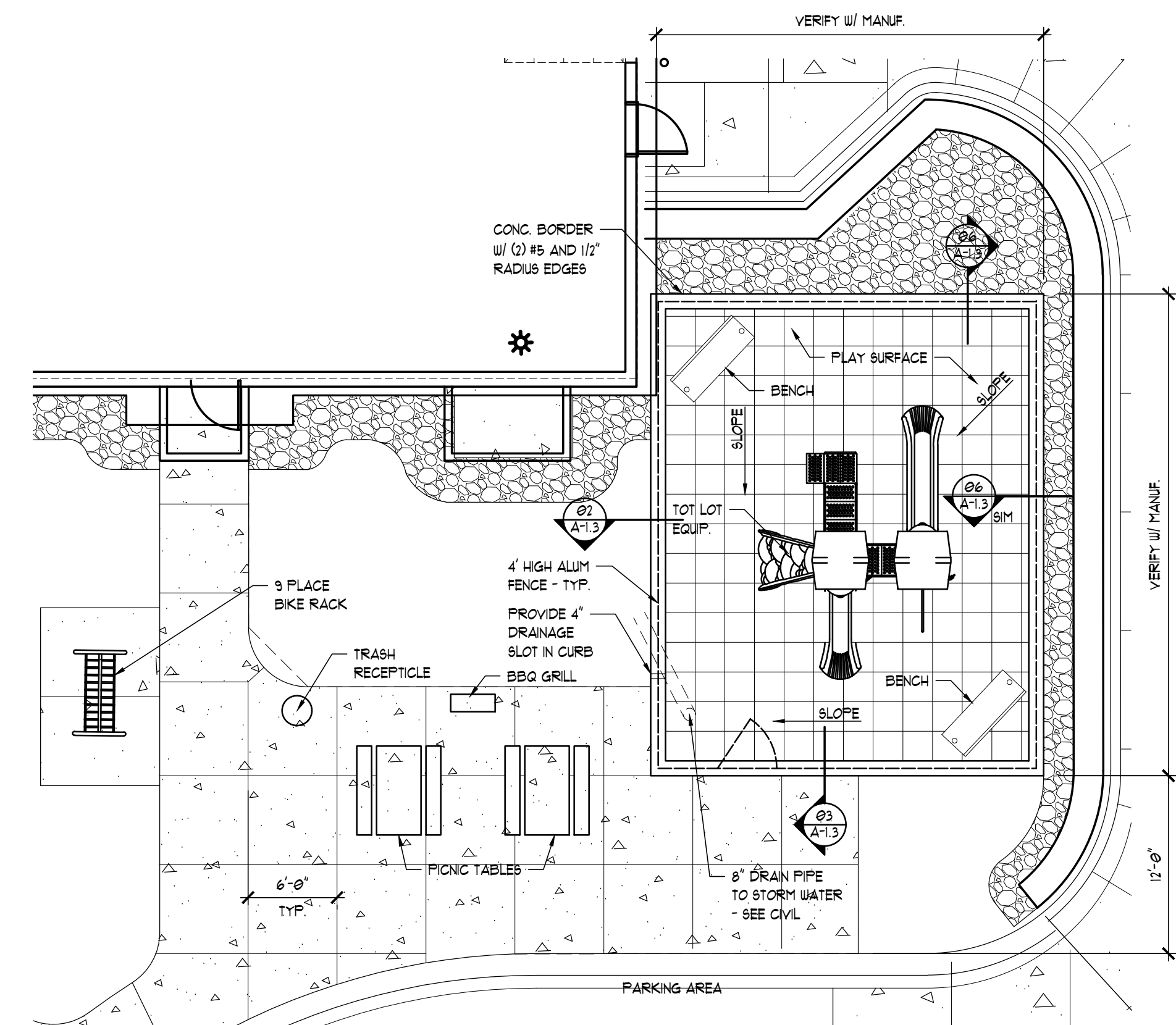
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- ALL C.I.P. JOINTS ARE TO BE PINNED IN AN EFFORT TO MINIMIZE MOVEMENT



02 HYDRONIC HEAT DETAIL
A-1.2 SCALE: 1" = 1'-0"



03 TYP. MULCH BED AT BUILDING
A-1.2 SCALE: 1" = 1'-0"



04 TOT LOT
A-1.2 SCALE: 1/8" = 1'-0"

NOTES

- #1 = ACCESSIBLE PARKING SIGN
- #2 = ACCESSIBLE VAN PARKING SIGN
- SEE CIVIL FOR PARKING PAVEMENT SECTIONS
- SEE CIVIL FOR LIGHT FIXTURES
- SEE ELECTRICAL
- SECURITY CAMERA
- SEE ELECTRICAL
- BY ALTERNATE
- SEE RCP SHEETS
- HEATED CONC. SLAB
- AREA NOT IN CONTRACT (N.I.C.)
- SEE LANDSCAPE PLANS FOR ALL INFO PERTAINING TO SITE LANDSCAPE
- PROPERTY LINE
- PROPERTY SETBACK LINES



366 South Tenth Avenue
PO Box 727
Waite Park, MN 56387-0727
Office: (320) 202-3100
Fax: (320) 202-3139
Website: www.SandCompanies.com
E-Mail: Architects@SandCompanies.com

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PRINT LOG

REVISION/DATE/COMMENTS	
06-14-22	CITY SUBMITTAL
06-23-22	30% DRAFT
07-12-22	CITY RESUBMITTAL
07-21-22	15% DRAFT
08-25-22	30% DRAFT
09-08-22	100% REVIEW SET
09-23-22	BID / PERMIT SET
08-24-23	ASH #05
TBD	ASH #08-DRAFT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION & THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF MINNESOTA.

SIGNATURE:

TYPED OR PRINTED NAME: BRADLEY D. HAROLDSON

LICENSE NO: 42858

DATE: 09-29-2022

5240 APARTMENTS

5240 WEST BROADWAY AVE.
CRYSTAL, MN

ENLARGED SITE PLAN

A-1.2

PROJECT NO: 3-00-09-7
DRAWN BY: A.BUTCHERS
CHECKED BY: BOH
DATE SUBMITTED FOR CONSTRUCTION: 09-29-2022